

DATE: April 8, 2016
TO: Colorado State University – Pueblo Cabinet
FROM: Colorado State University – Pueblo Space Utilization Committee
Subject: Occhiato University Center (OUC) Occupants Temporary Re-location

Background

In October 2015, Colorado State University – Pueblo started construction on the renovation of the Occhiato University Center (OUC). The first phase of the project is to construct an addition to the east of the existing building. The second phase of the project is to renovate the existing building footprint. In order to accomplish this, the current occupants in the Occhiato University Center (OUC) will have to temporarily be relocated while the construction is being completed. The current project schedule has the occupants being relocated either in May/June or December, 2016 as described in the following list, depending on complexity of the relocation. The areas to be temporarily relocated are:

- Alumni Foundation
- Associated Student Government (ASG)
- Auxiliary Services
- Center for International Programs (CIP)
- Copy Center
- Diversity Resource Center (DRC)
- Health Center
- Student Engagement & Leadership (SEAL)
- Student Life
- Student Organization Leadership and Resource (SOLAR)
- Veteran’s Resource Center
- Pack Pantry

The Bookstore and all Food Services, including the Cafeteria, will be temporarily located in the newly constructed Occhiato University Center addition from January 2017 until March of 2018.

Recommended Relocations

Alumni Office

Current: (1) office in OUC 450 sq.ft.

Recommended Location: **Library- Academic Resource Center LARC**

Recommended Space: 183 and 184 (approx. 500 sq .ft.

Current Use: Currently LARC 184 is an unscheduled, underutilized Study Room, and LARC 183 is a large vestibule with reception/lounge seating

Advantage: Available to Alumni in a pleasant setting with LARC Bistro, and easy access from Visitors Parking just across from fountain plaza

Displacement: No one, nor no class displaced

MOVE: May/June 2016

Associated Student Government (ASG)

Current: (3 to 4) offices in OUC 217 suite
Large tiered space (Chambers) in OUC 201
2400 sq.ft. total

Recommended Location: **General Classroom Building (GCB)**

Recommended Space: Room 310L (5) Cubicles for Office Space
Classroom 110 or 111 to be scheduled for ASG Chamber

Current Use: Currently there are 10 open cubicle spaces and only 5 would be needed. Any of the tiered classrooms would to be scheduled to accommodate for the ASG Chamber needs.

Advantage: Utilizes available space, brand new building central to campus access, makes good impression, most ASG classroom use will be in evenings

Displacement: no one, nor no class displaced

MOVE: May/June 2016

Auxiliary Services

Current: (3 to 5) offices in OUC
Information / Front Desk
1900 sq.ft. total

Recommended Location: **Student Recreation Center (SRC)**

Recommended Space: Rooms 144, 147, 148 (approx. 1,000 ft²)

Current Use: Currently vacant space, unscheduled.

Advantage: Easily accessible to public and students, service counter is existing (original juice bar). Minimal remodel work.
Good parking/access

Displacement: no one, nor no class displaced

MOVE: December 2016

Center for International Programs (CIP)

Current: (3 to 4) offices OUC 002 suite 1200 sq.ft.

Incl. Open Space

Recommended Location: **Psychology Building PSYCH**

Recommended Space: Room 152 (approx. 1,240 ft²), open
and 151 Office suite (2 to 3 offices)

Current Use: Currently 152 is vacant space due to efficient classroom
scheduling,

Advantage: Underutilized space of proper size, good access from
south entrance, adjacent to existing John Garcia
international language center

Displacement: No one, nor no class displaced

MOVE: May/June 2016

Copy Center

Current: (1) office in OUC Bookstore, 550 sq.ft.

Open Space for Copy Machines

Recommended Location: **Art Music Bldg. A/M**

Recommended Space: A/M 107 suite (1900 sq.ft.)

Current Use: Will be vacant at beginning of Fall 2016 semester after
existing Printmaking studio is relocated to A/M 120 suite
under a pre-existing project

Advantage: Power requirements are existing, access is easy for
student customers, appropriate in an arts environment,

Displacement: No one, nor no class displaced

MOVE: May/June 2016

Diversity Resource Center (DRC)

Current: (1) office

Open Space

Total 1449 sq.ft. OUC 030 through 033

Recommended Location: **Psychology Building PSYCH**

Recommended Space: Room 153 (approx. 1,240 ft²)

Current Use: Currently vacant space due to efficient classroom
scheduling.

Advantage: Open Space for program, minimal remodel

Displacement: No one, nor no class, displaced

MOVE: May/June 2016

Health Center

Current: (2 or 3) offices
Open Space
Exam Rooms
Total 1100 sq.ft. OUC 112 suite

Recommended Location: **Psychology Building PSYCH**

Recommended Space: Room 130 thru Room 137 (approx. 1,875 ft²)

Current Use: Currently space is occupied. 3 Offices will be relocated to other vacant office space. Lab equipment will be relocated to other lab space.

Advantages: ADA access directly to south ground floor entrance. Utilities (sinks w.c.' plumbing) will accommodate necessary floor plan remodel. Area is greater than existing operation.

Displacement: 3 offices will relocate from 130 through 132 to PSYCH 233/228 suite at second floor; labs of 136, 137 will relocate to PSYCH 142 (unused non-traditional student lounge).

MOVE: December of 2016

Student Engagement & Leadership (SEAL)

Current: Large Open Space OUC 006 suite
Total 1034 sq.ft.

Recommended Location: **Student Recreation Center SRC**

Recommended Space: Room 143 (approx. 740 ft²)

Current Use: Currently space is unscheduled, underutilized

Advantage: Open Space for program, minimal remodel. Close departmental association with SRC group for activities

Displacement: No one, nor no class, displaced

MOVE: May/June 2016

Student Life

Current: (5 or 6) offices OUC
Open Space
Total 2492 sq.ft.

Recommended Location: **Library – Academic Resource Center (LARC)**

Recommended Space: Room 267 thru Room 276 suite (approx. 1,720 sq.ft.)

Current Use: Space was used for Rage Grant. Currently space is vacant.

Advantage: No remodel necessary. Good arrangement of existing offices. Meeting space can be scheduled in LARC spaces.

Displacement: No one, nor no class, displaced

MOVE: May/June 2016

Student Organization Leadership and Resource (SOLAR)

Current: Large Open Space OUC 035 area
Recommended Location: **Student Recreation Center SRC**
Recommended Space: Room 143 (approx. 300 ft²)
Current Use: Currently space is unscheduled, underutilized
Advantage: Open Space for program, minimal remodel. Close departmental association with SEAL /SRC groups
Displacement: No one, nor no class, displaced
MOVE: May/June 2016

Veteran's Resource Center

Current: (1 or 2) offices
Open Space
Total 1544 sq.ft. OUC 034 suite
Recommended Location: **Administration Building ADMIN**
Recommended Space: Room 103A and Room 103E (approx. 920 sq.ft.)
Current Use: Currently vacant space.
Advantage: Open Space for program, separate area for veteran's particular use, near Admissions for interaction with that dept.
Displacement: No one, nor no class, displaced
MOVE: May/June 2016

Pack Pantry

Current: Small Space at OUC 037
100 sq.ft.
Recommended Location: Art Music Building A/M
Recommended Space: A/M 107 suite 200 sq.ft.
Current Use: Vacant space as of Fall 2016
Advantage: Accessible to students, lockable
Displacement: No one, nor no class, displaced
MOVE: May/June 2016

RELOCATION PROCESS-----Beginning April 11, 2016

- **Use and layout of temporary spaces planned and coordinated with OUC departments by OUC Project Manager (Wember, Inc., Matt Wilhelm) and Facilities Dept.—beginning April 12, 2016**
- **Necessary remodel areas planned, bid, constructed under OUC project cost.—Apr. '16 thru' Dec.'16, for Jan. 2017 occupancy. Wember and Facilities Dept.**
- **Packing of personal items by each of the relocated departments—move cost and execution under OUC project, coordination by OUC project manager.**
- **Un-used furniture moved by Facilities Dept. to temporary storage in Belmont Hall, until re-installation (if necessary) in completed OUC after March, 2018.**
- **Temporary relocation of furniture-----move cost and execution under OUC project, coordination by OUC project manager.**
- **Data and phone connections (if necessary) at temporary spaces to be determined by departments, and coordinated by OUC project manager.**

4/8/16

RECOMMENDATIONS OUC Renovation Departmental Relocations

department	existing area in OUC gsf	temporary location	temporary area gsf	new OUC area gsf
5.2 Copy Center	550	A/M 107	1700	1500
10.2 ASG	2395	GCB 3rd flr. Adjunct area	up to 8 cubicles	2605
10.3 CIP and DRC				
CIP	1200	Psych 153, 151 suite	1200	2010
DRC	1449	Psych 152	1140	1180
10.1 SOLAR	500	SRC 143	400	610
10.5 SEAL	1034	SRC 143	840	2775
11.1 Veteran's Resource Center	1544	ADMIN 103A, E, H	1260	1800
alternate		Buell Comm. Ctr. 103	1000	
11.2 Student Life	2492	LARC 267 Suite	1740	2450
11.3 Auxiliary Services	1904	SRC 144, 147, 148	1000	2530
11.4 Alumni Foundation	458	LARC 183, 184	500	495
alternate		Buell Comm. Ctr. 107	500	
12.1 Student Health	2400			4250
Health Center	1000	Psych 130-137	1875	2800
Counselling Center	(Existing, Psych Bldg) 1450	remains in Psych Bldg.		1650
"Pack Pantry"	100	A/M 107 suite	200	576
		TOTAL temp Space Need	13355	

1900 gsf?
Copy center?
Temporary
Pack Plant?





ADMINISTRATION BLDNG.
1st FLOOR



Colorado State University - Pueblo
2200 N. Bonforte Blvd.
Pueblo, CO 81001

DRAWING
A-1

ADMINISTRATION BUILDING 1st FLOOR

SCALE: 1/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DIMENSIONS INDICATED ARE TO FACE OF FINISH MATERIAL OF PARTITION OR WALL AND GRID LINES, UNO
- REFER TO FINISH PLANS FOR INTERIOR ELEVATION CALLOUTS, ENLARGED PLAN CALLOUTS AND FLOOR PATTERNS.
- REFER TO SHEET (A-510) FOR PARTITION TYPE INFORMATION
- REFER TO FINISH PLANS FOR MARKER/TACK BOARD SIZES AND LOCATIONS.
- PROVIDE BLOCKING AT ALL WALL-MOUNTED ACCESSORIES (GRAB BARS, ETC.) HARDWARE WHERE REQUIRED AND WALL-MOUNTING CABINETS.
- AT GANG TOILETS SET FLOOR DRAINS IN A 24" HAND TROWELED DEPRESSION WITH DRAIN ASSEMBLY IN CENTER OF DEPRESSION, 1/4" BELOW SURROUNDING TOP OF SLAB ELEVATION. SLOPE FLOOR AT DEPRESSION TO ROOMS SO AS NOT TO HAVE DRAINS DIRECTLY UNDER LEGS OF TOILET PARTITIONS.
- VERIFY & COORDINATE ALL REQUIREMENTS FOR OWNER FURNISHED ITEMS PRIOR TO PERFORMANCE OF WORK THAT MAY INTERFACE WITH SUCH ITEMS.
- PROVIDE POWDER COATED PAINTED ACCESS PANELS IN WALLS & CEILING AT CONCEALED ITEMS SUCH AS VALVES, CONTROLS, SWITCHES OR ANY OTHER ITEMS THAT REQUIRES ACCESS. GC TO DETERMINE ACCESS PANEL LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.
- TYPICAL DOOR RETURN DIMENSIONS ARE 4" TO FRAME, UNO

FLOOR PLAN KEYNOTES

- FOOD SERVICE EQUIPMENT BY OWNER
- DRINKING FOUNTAIN
- MOP SINK
- WALL MOUNTED STEEL LADDER
- OWNER PROVIDED DISHWASHER
- OWNER PROVIDED REFRIGERATOR
- BUILT-IN SEAT/BENCH, ALTERNATE 10, REFER TO FINISH PLAN FOR MATERIALS
- BUILT-IN BOOTH SEATING, ALTERNATE 7, REFER TO FINISH PLAN FOR MATERIALS
- PANEL WORKSTATIONS BY OWNER
- ADJUSTABLE SHELVES ON WALL MOUNTED METAL STANDARDS
- FIXED LECTERN, REFER TO A1A-522 FOR MATERIAL AND DETAIL



1331 Nineteenth Street
Denver, CO, 80202 P 303.607.0977
www.slaterpaul.com

CONSULTANT:

PROJECT:
**CSU PUEBLO
GENERAL
CLASSROOM
BUILDING**
PUEBLO, COLORADO

OWNER:
**COLORADO STATE
UNIVERSITY -
PUEBLO**

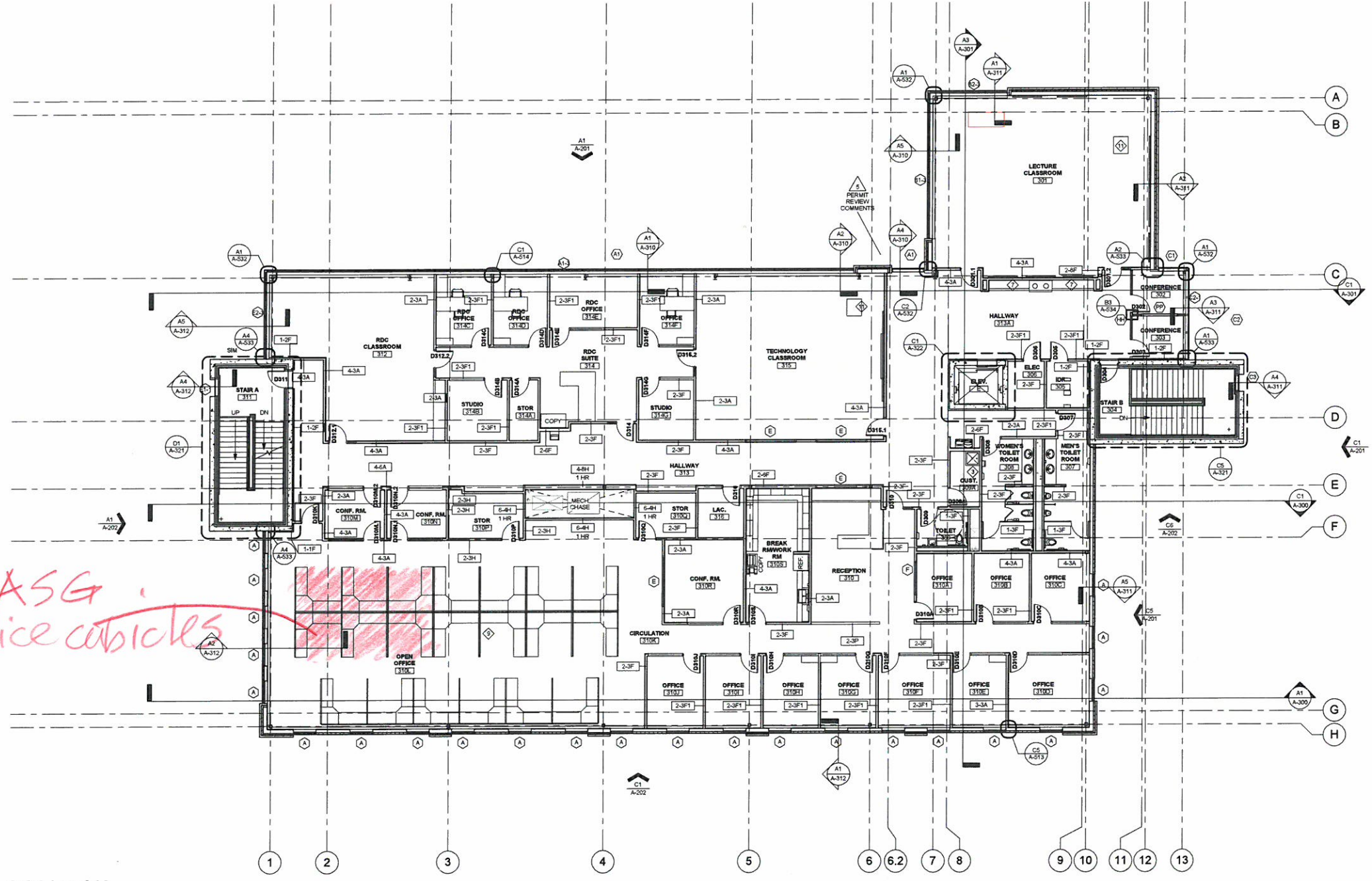
2200 BONFORTE BOULEVARD
PUEBLO, COLORADO 81001

ISSUE:
05.02.2014 ISSUE FOR BID PACKAGE 02
05.30.2014 ISSUE FOR BID PACKAGE 04
07.29.2014 ISSUE FOR CONSTRUCTION
5/8/27/14 ISSUE TO RESPONSE TO
PERMIT REVIEW COMMENTS

DRAWING INFORMATION:
PROJECT NO: 11366.000
DRAWN BY: DM
CHECKED BY: GG
APPROVED BY: JC
SHEET TITLE:

THIRD FLOOR PLAN

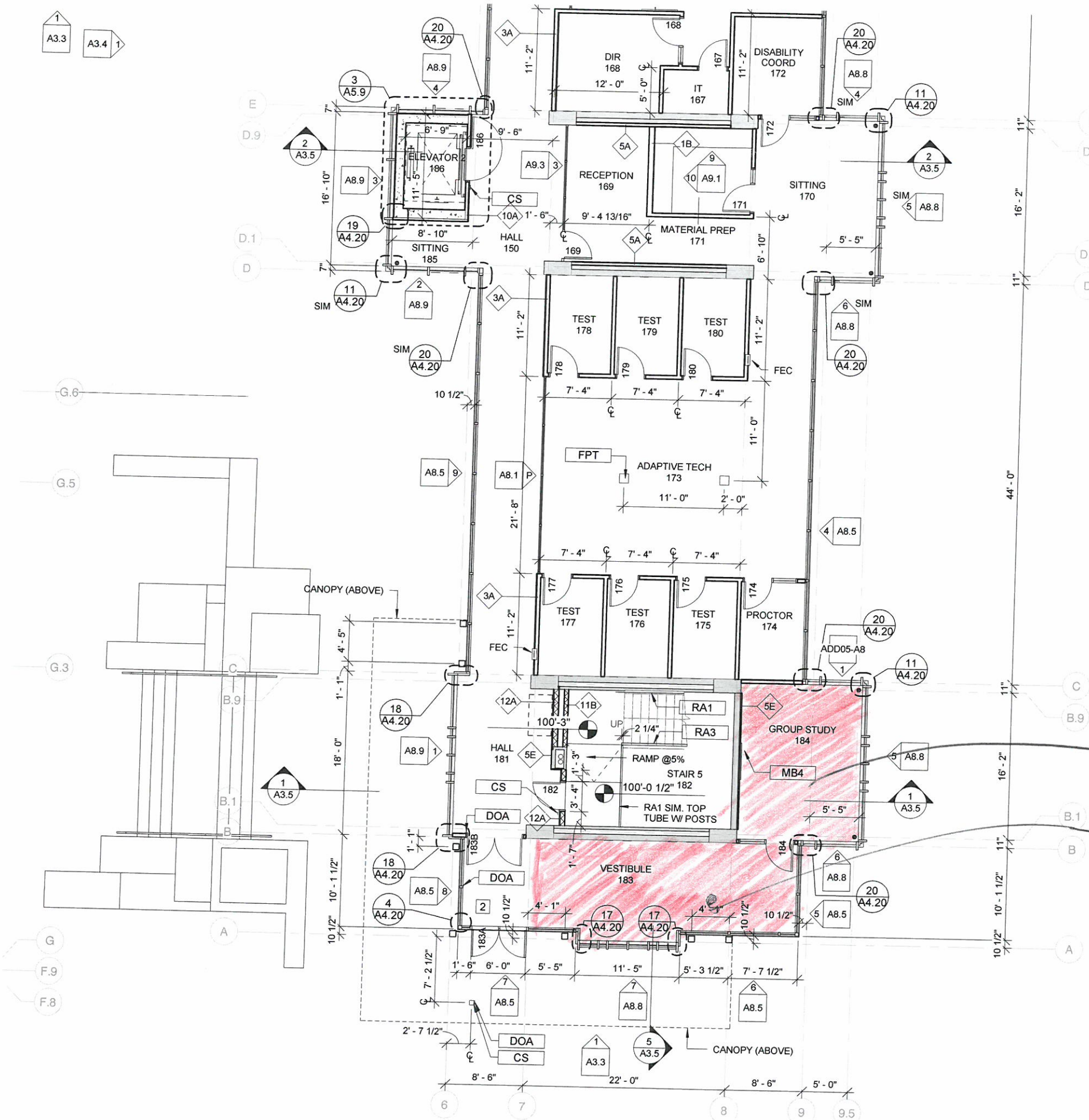
A-113
SHEET OF



A1 C OA Level 03
1/8" = 1'-0"



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- 15. FURNITURE SHALL BE OWNER FURN. INSTALLED, UON.
- 16. RE: DETAILS 11 AND 12 / A4.21 FOR I CONDITIONS WHERE INTERIOR PARTITI INTERSECT EXTERIOR WALL AT GLASS MULLION.
- 17. PROVIDE 1'-0" LONG TACKLESS DISF AT OFFICES, CLASSROOMS, GROUP RO MULT MEDIA ROOMS, TECH LABS AND I 117, 130, 151, 165, 169, 187, 204, 219, 251 267, 277, 313, 319, 351, 357, 360, 365, 374 MOUNTING HT & LOC TBD BY ARCHITEC
- 18. ALL INTERIOR WALLS BENEATH (E) T BE CENTERED UNDER TEE LEG, UON.
- 19. STAIR RAILINGS (RA1, RA2, RA3, RA6 CONTINUOUS FROM FLOOR TO FLOOR.
- 20. DECORATIVE SIGNAGE INDICATED A LINE. RE: PLANS FOR LOCATION, RCP FI "XXX", DETAIL 5/A5.7 FOR CONSTRUCTI

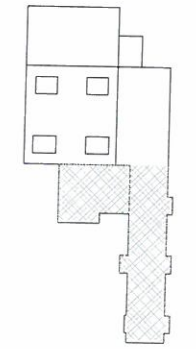
NOTES

- 1 BEVERAGE MACHINE, BY OWNER
- 2 FIRE CONTROL AREA

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE
CS	CARD SWIPE
DOA	DOOR OPENER ACTUATC
FP	FLAT PANEL DISPLAY, RE
FPT	FLOOR POKE THRU, RE: E
L	LECTERN - 06 40 23 - RE:
LS	SMALL LECTERN - 06 40 2
MB4	MARKER BOARD - 4' 10 11
MB16	MARKER BOARD - 16' 10 1
RA1	RAILING MODIFICATION T
RA3	RAILING MODIFICATION T
RA7	RAILING MODIFICATION T
TB4	TACKABLE PANEL - 4' 09 1

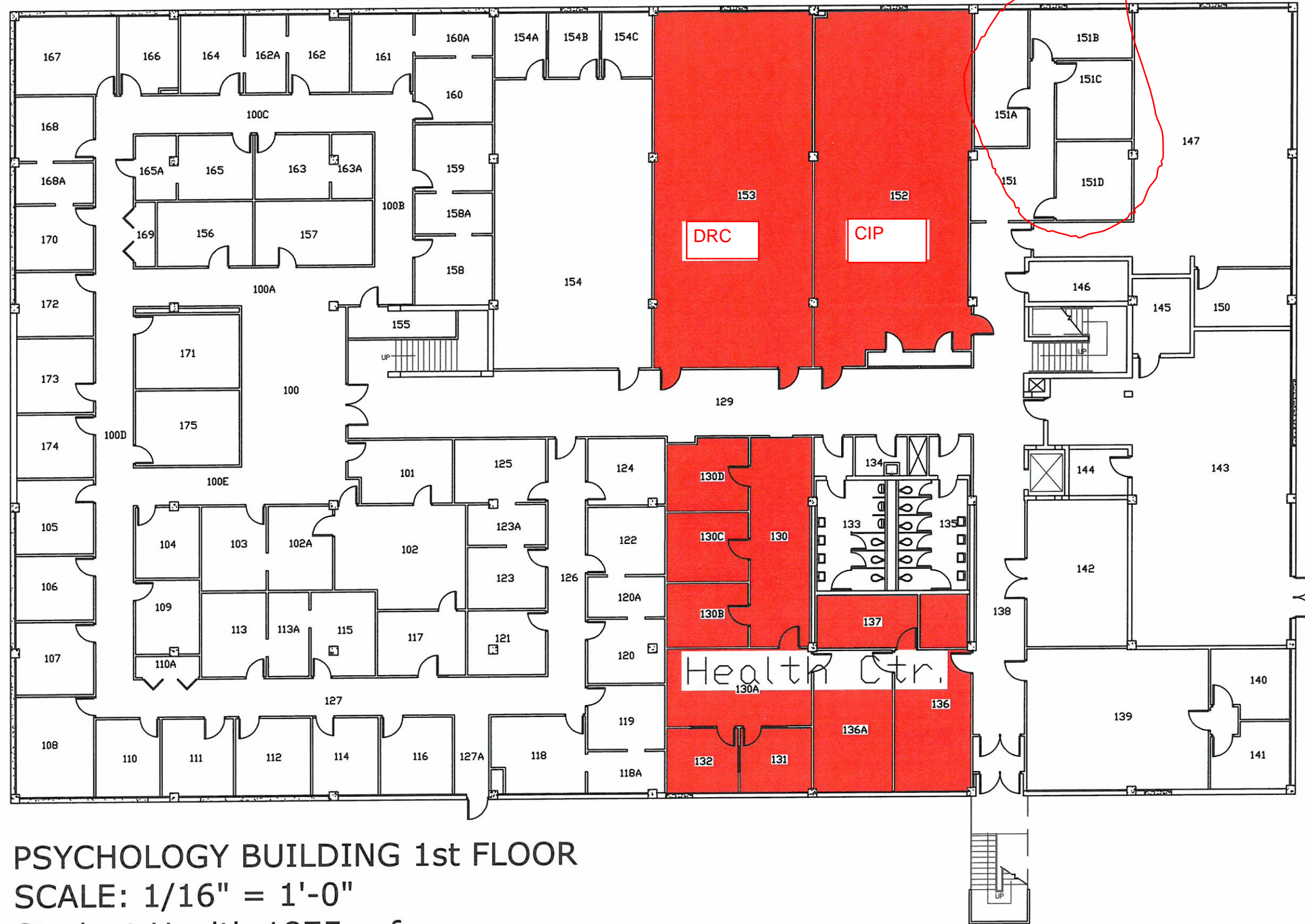
ALUMNI OFFICE
230 gsf

ALUMNI LOUNGE
275 gsf



KEY PLAN

1 FIRST FLOOR PLAN - SOUTH
A2.1B SCALE: 1/8" = 1'-0"



CIP office area

DRC

CIP

Health Ctr.

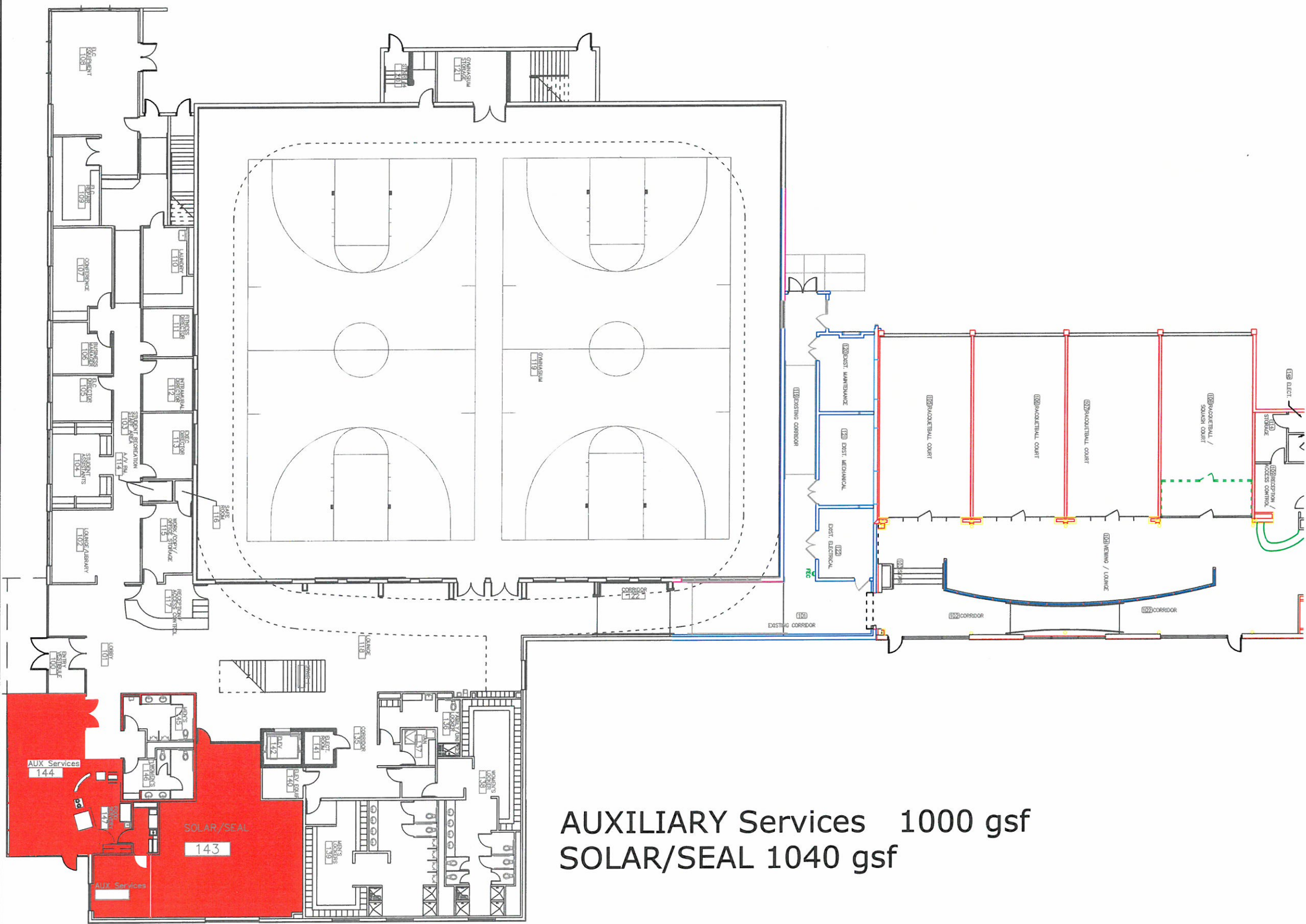
PSYCHOLOGY BUILDING 1st FLOOR
 SCALE: 1/16" = 1'-0"
 Student Health 1875 gsf
 DRC 1240 gsf CIP 1240 gsf

PSYCHOLOGY BUILDING
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AUXILIARY Services 1000 gsf
 SOLAR/SEAL 1040 gsf

STUDENT RECREATION CENTER 1st FLOOR
 SCALE: 1/16" = 1'-0"



STUDENT RECREATION CENTER
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